

**CASE SUMMARY SHEET**

**CASE NUMBER: V24-11-33**

**DATE RECEIVED: November 21, 2024**

**DATE OF MEETING: December 10, 2024 and January 14, 2025**

**Address: 1823 Claiborne**

**Subdivision: Old Town of Mandeville, Square 8 Lot 2**

**Zoning District: R-1 Single Family Residential District**

**Property Owner: Kyle Schmidt**

**REQUEST: V24-11-33 – Kyle Schmidt requests a variance to CLURO Section 8.1.1.4. Allowed Setbacks Encroachments, Old Town of Mandeville, Square 8 Lot 2, R-1 Single Family Residential District, 1823 Claiborne**

**PREVIOUS CASE: V24-06-18/R24-06-03 – Resubdivision**

**CASE SUMMARY: The applicant is requesting to locate mechanical equipment in the east side setback**

The applicant owns the property at 1823 Claiborne St., located on the north side of Claiborne St., east of Marigny Ave., west of Lamarque St., and south of Jefferson St. The property measures 63.94' x 250.56' containing 16,020.80 sqft per survey prepared by Randall Brown & Associates and dated 7.19.2024. The property is currently unimproved.

A single-family residence is being proposed for the property. The lot is zoned R-1 and has a frontage of 63' requiring a side yard setback of 12'. The proposed structure will be compliant with setback requirements. The applicant is requesting to place the AC condenser equipment in the east side setback, encroaching 2' into the setback and leaving 10' to the property line.

The application states that the condenser units have a profile of 24" and will be mounted to the house on L brackets.

**CLURO SECTIONS:**

**8.1.1.4. Allowed Setbacks Encroachments**

**Every part of a required setback shall be open to the sky and unobstructed by accessory structures except**

- 4. **Mechanical Equipment.** Except as authorized for the elevation of existing structures, or where there is existing mechanical equipment located within the side setback, heating, ventilation, air conditioning, generator, or pool equipment shall not encroach into any required front or side setback.

**7.5.1.3. R-1 Site Development Regulations**

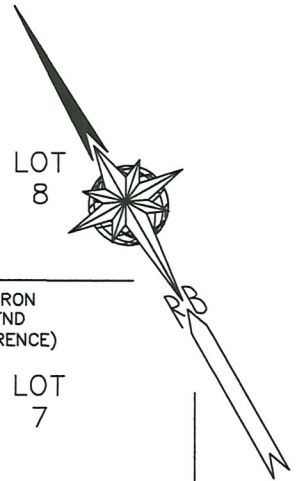
Each development site in the R-1 Single-Family Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

1. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
2. Minimum building area (Square feet per unit)	1,200 Square feet
3. Minimum lot width	90'
4. Minimum lot depth	120'
5. Minimum Yard Setback Requirements	
a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' – 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side
vii. Frontage between 101' – 110'	18' each side
viii. Frontage between 111' +'	20' each side
c. Street side yard	15'
d. Rear yard	30'
6. Maximum Height of Structures	35'
7. Maximum Impervious Site Coverage	45%

\*The side yard setbacks of the site may be shifted into the opposite side yard by up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.



# JEFFERSON STREET (SIDE)



**LOT 2 DESCRIPTION**  
 COMMENCING AT THE CORNER OF THE INTERSECTION OF LAMARQUE STREET R/W, CLAIBORNE STREET R/W, & THE SOUTHERNMOST CORNER OF SQUARE 8, AND GO N60°28'23"W, 266.45' TO THE POINT OF BEGINNING. FROM THE POINT OF BEGINNING GO N60°28'23"W, 63.94'; THENCE N29°39'00"E, 250.56'; THENCE S60°20'52"E, 63.95'; THENCE S29°39'08"W, 250.42' BACK TO THE POINT OF BEGINNING.

**LOT 3 DESCRIPTION**  
 COMMENCING AT THE CORNER OF THE INTERSECTION OF LAMARQUE STREET R/W, CLAIBORNE STREET R/W, & THE SOUTHERNMOST CORNER OF SQUARE 8, AND GO N60°28'23"W, 202.5' TO THE POINT OF BEGINNING. FROM THE POINT OF BEGINNING GO N60°28'23"W, 63.95'; THENCE N29°39'08"E, 250.42'; THENCE S60°20'52"E, 63.95'; THENCE S29°39'08"W, 250.28' BACK TO THE POINT OF BEGINNING.

**NOTE:**  
 BEARINGS SHOWN HEREON ARE 3' WOOD FENCE REFERENCED TO LOUISIANA STATE PLANE COORDINATES. LA SOUTH ZONE 1702.

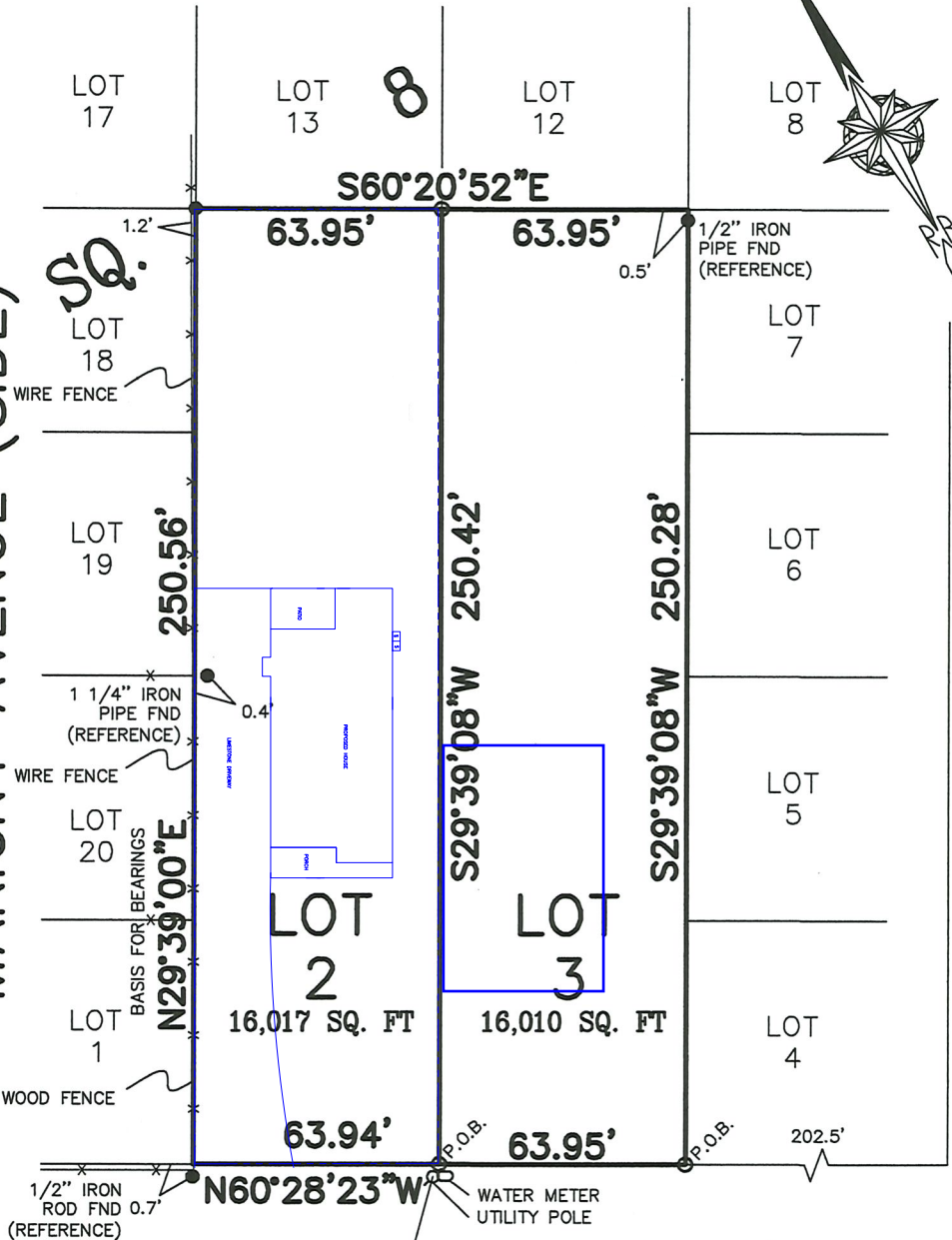
**NOTE:**  
 OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE DESIGN OR CONSTRUCTION BEGINS.

**REFERENCE 1:**  
 Survey By Randall W. Brown & Assoc., INC.  
 Survey No.: 22371  
 Dated: 6-21-2022

**REFERENCE 2:**  
 Survey By Ned R. Wilson, PLS  
 Job No.: 12112  
 Dated: 9-14-2006

**Note:** I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS located in a special flood hazard area, it is located in Flood Zone AE.

FIRM Panel# 2202020427D Rev. 5-16-2012



## CLAIBORNE STREET

APPROVED:

*L. C. [Signature]*  
 MAYOR OF THE CITY OF MANDEVILLE

*[Signature]*  
 CHAIRMAN OF PLANNING COMMISSION

*[Signature]*  
 CITY ENGINEER OR PUBLIC WORKS DIRECTOR

*[Signature]*  
 PLANNING DIRECTOR

*Monique T. Bringol*  
 CLERK OF COURT

08-13-2024 6330A  
 DATE FILED FILE NO.

### RESUBDIVISION OF

Monique T Bringol, Deputy Clerk

**LOTS 2 & 3 \* SQUARE 8 \* TOWN OF MANDEVILLE  
 CITY OF MANDEVILLE \* ST. TAMMANY PARISH, LOUISIANA  
 INTO  
 LOT 2 & LOT 3**

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, SUBSURFACE UTILITIES, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

*[Signature]*  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 Randall W. Brown, P.L.S.  
 Professional Land Surveyor  
 LA Registration No. 04586

**Randall W. Brown & Associates, Inc.**  
 Professional Land Surveyors  
 228 W. Causeway Approach, Mandeville, LA 70448  
 (985) 624-5368 FAX (985) 624-5309  
 info@brownsurveys.com

Date: JULY 19, 2024  
 Survey No. 24353  
 Project No. (CR5) A21387.TXT  
 Scale: 1" = 50'±  
 Drawn By: J.E.D.  
 Revised:

CODE COMPLIANCE:

IRC 2021 CODE

- 1. MUST INSTALL ICE/WATER SHIELDING FOR SECONDARY MEMBRANE

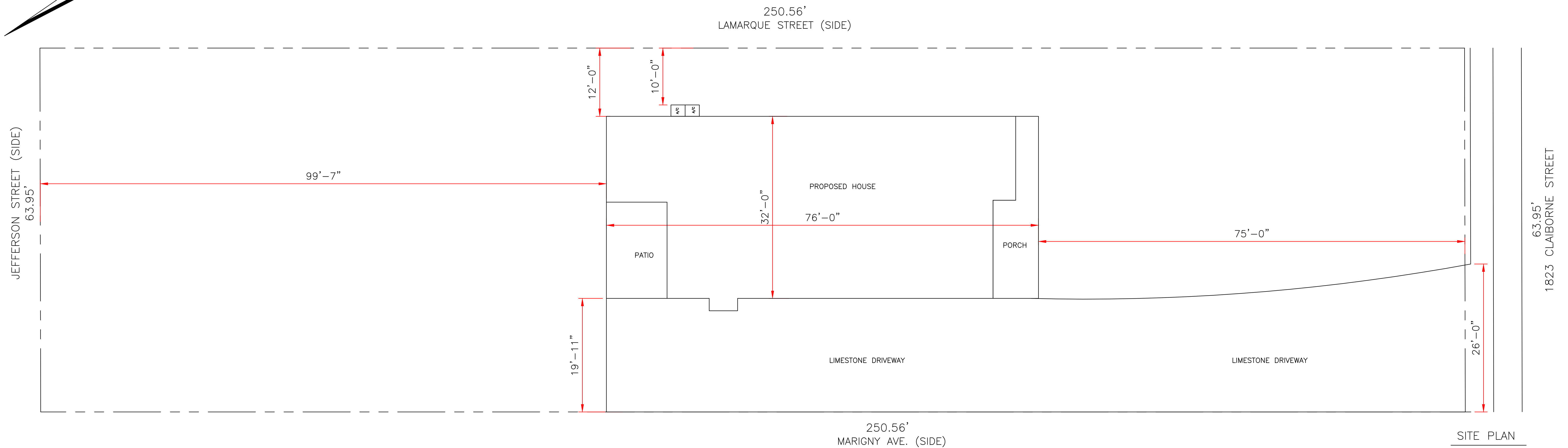
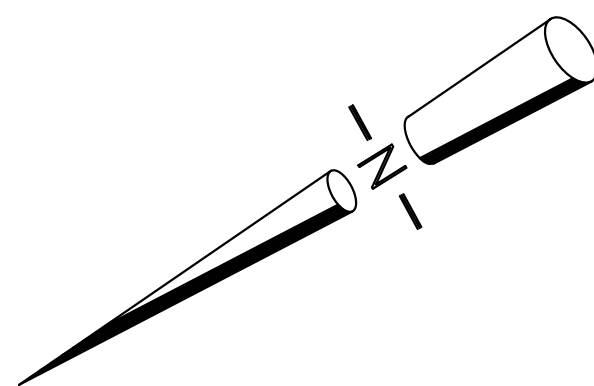
WIND BORNE DEBRIS PROTECTION

WINDOWS IN BUILDING LOCATED IN WIND BORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND BORNE DEBRIS. WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 1/2" AND A MAX. SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED.

CODE COMPLIANCE:

WIND SPEED 140 MPH.

- 1. THE 2021 INTERNATIONAL RESIDENTIAL CODE.
- 2. WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS. (WFCM).
- 3. INTERNATIONAL CODE COUNCIL (ICC) STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS (ICC600).
- 4. ENERGY COMPLIANCE PRESCRIPTIVE PATH SHALL BE USED IN ACCORDANCE WITH IRC 2021 SECTIONS N1101-N1104 AS ADOPTED BY THE LSUCC.
- 5. MUST INSTALL TWO LAYERS OF UNDER-LAYMENT FOR SECONDARY MEMBRANE.



SITE PLAN

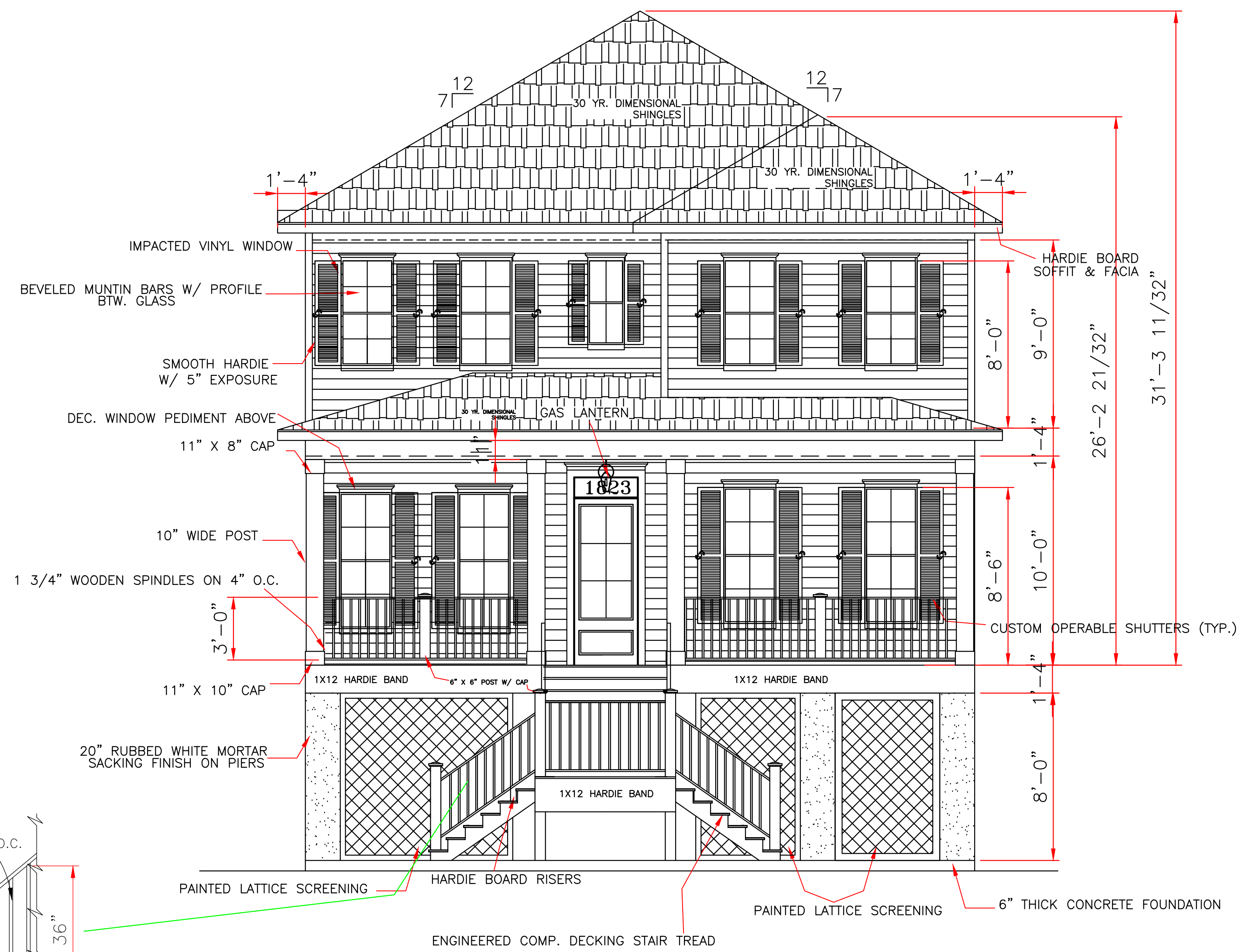
SCALE: 1/8" = 1'-0"

LOT# 2 SQ:8  
TOWN OF MANDEVILLE  
ST. TAMMANY PARISH, LA

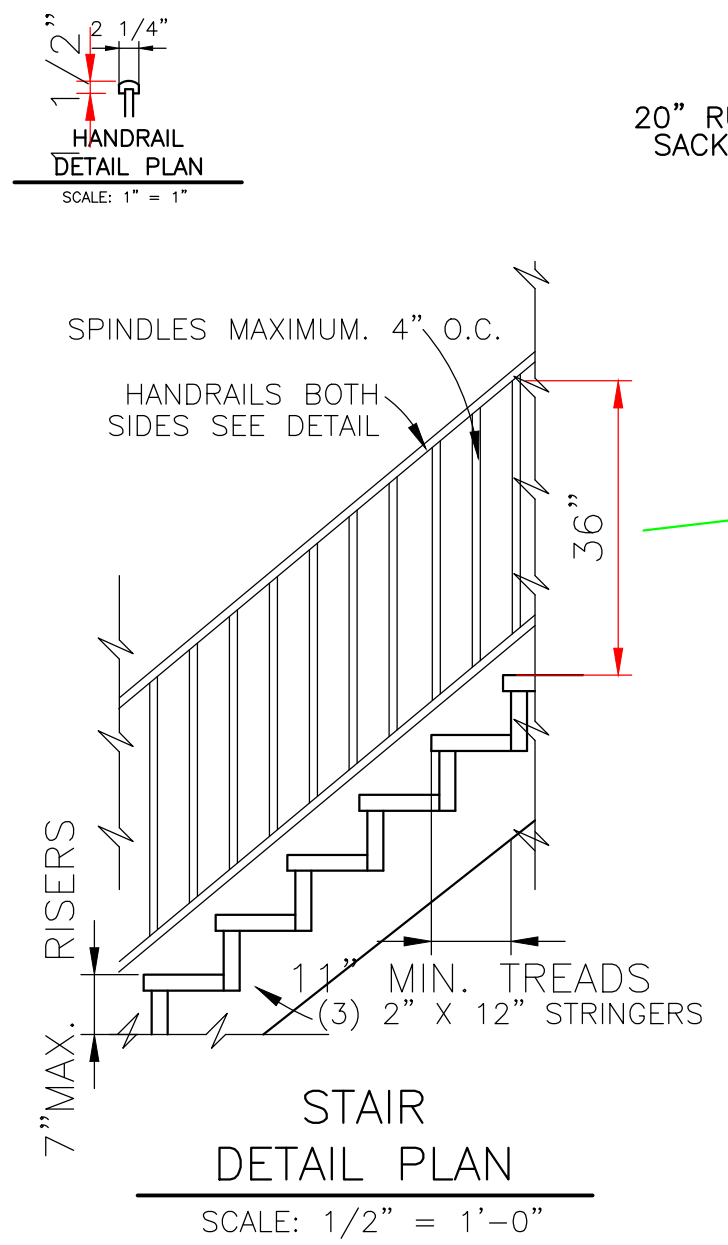
IN THE EVENT THAT A DIMENSIONAL DISCREPANCY IN THE DRAWINGS IS DISCOVERED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, ENGINEER, CONSULTANT, OR A SUPPLIER, SAID PARTY SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND SUSPEND ALL ASSOCIATED WORK UNTIL SUCH TIME THAT A PROPER DETERMINATION HAS BEEN MADE BY THE ARCHITECT, WITH APPROPRIATE INSTRUCTIONS FOR RESOLUTION OF THE ISSUE. FAILURE TO REPORT KNOWN DISCREPANCIES AND CONTINUING WITH THE WORK WITHOUT NOTIFYING THE ARCHITECT SHALL RESULT IN AN ASSUMPTION OF RESPONSIBILITY FOR CORRECTIVE WORK TO ACHIEVE THE INTENDED DESIGN.

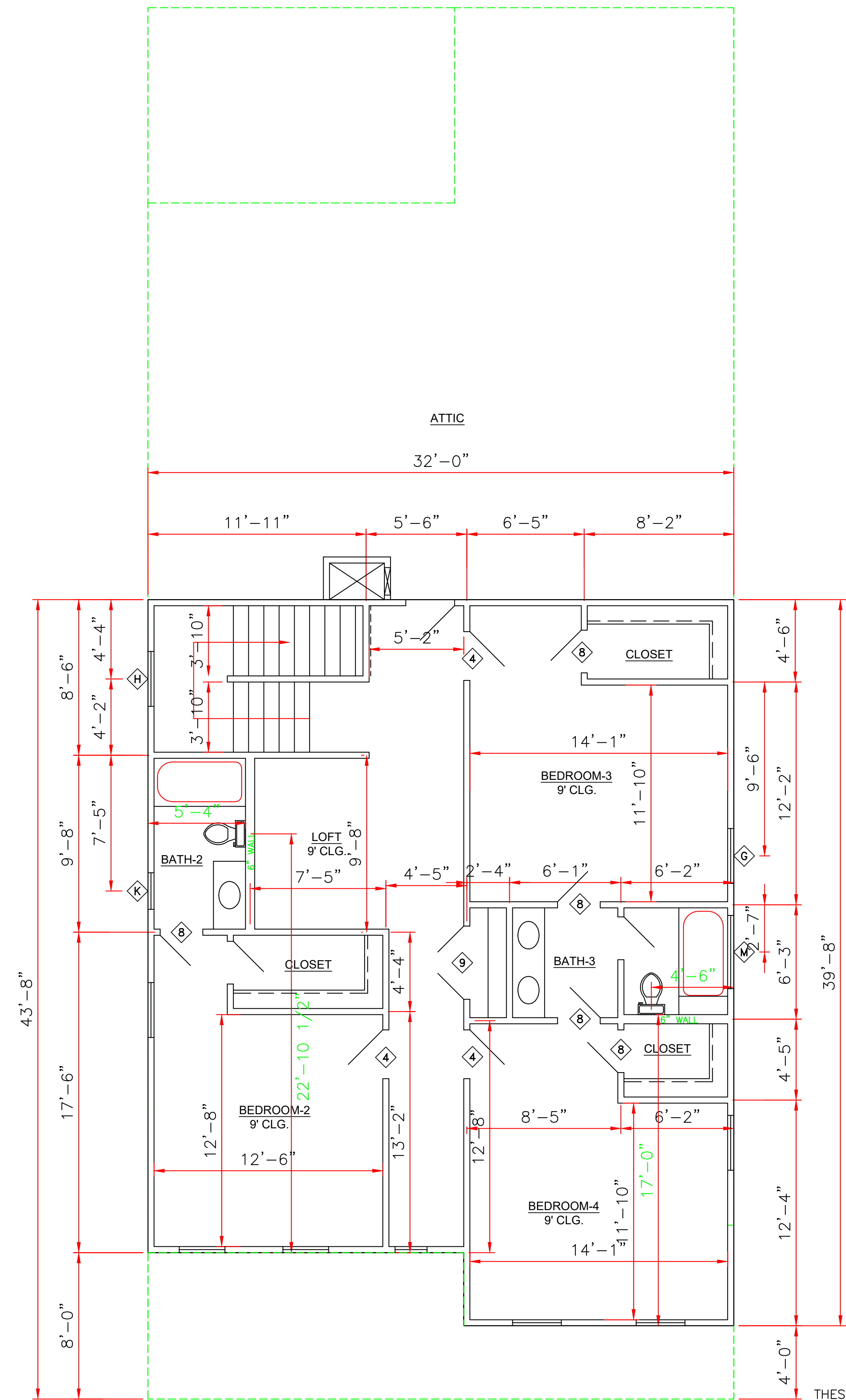
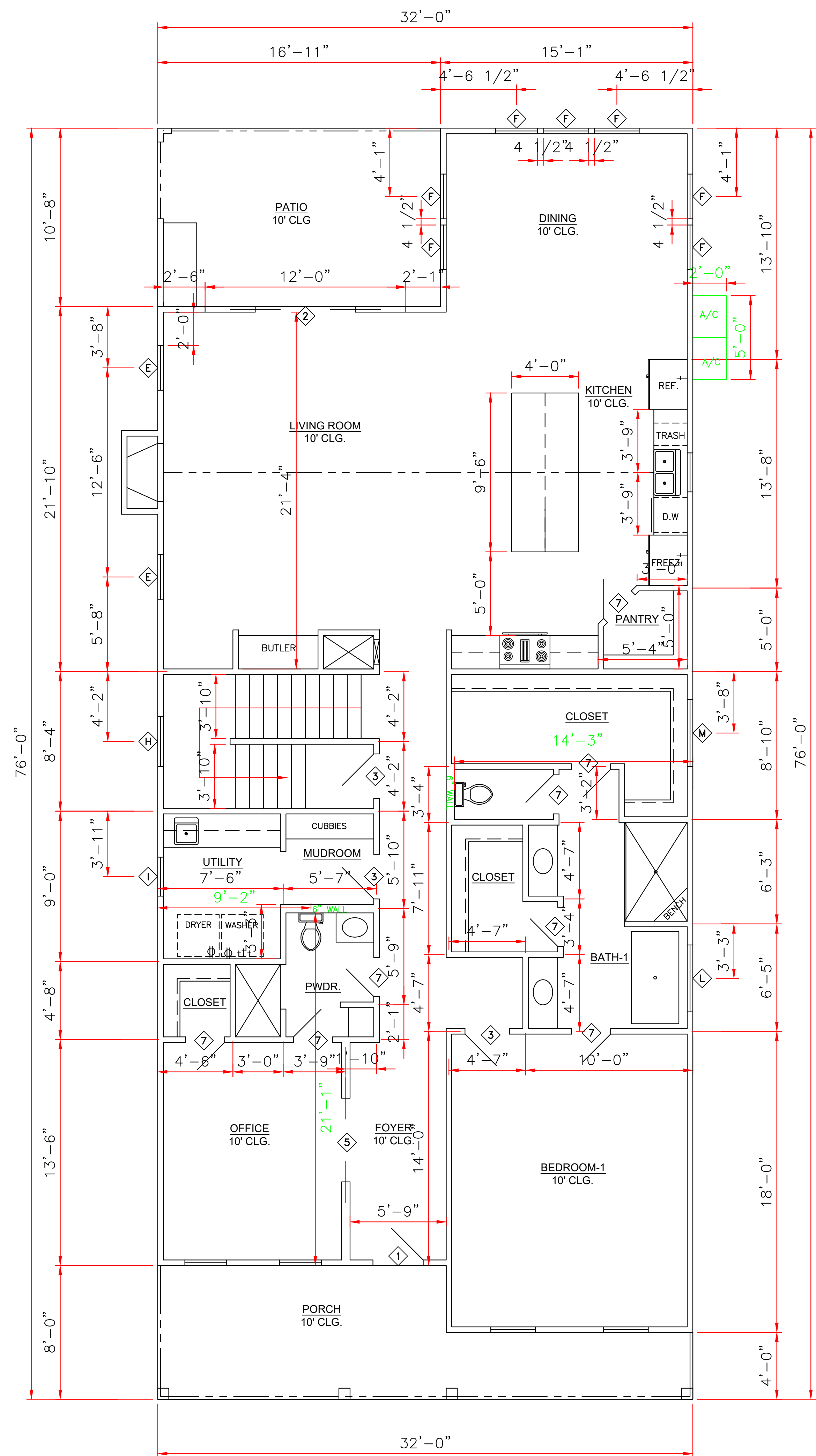
THESE PLANS HAVE BEEN PROPERLY EXAMINED BY THE UNDERSIGNED. I HAVE DETERMINED THAT THEY COMPLY WITH THE FOLLOWING EXISTING STATE AND LOCAL BUILDING CODES FOR THE JURISDICTION IN WHICH THE RESIDENCE IS TO BE LOCATED.

	LARRY TRUMBATUR		SCHMIDT	
	1823 CLAIBORNE STREET		ST. TAMMANY PARISH, LA.	
8307 LAFITTE CT. CHALMETTE, LA 70043	DATE	11/19/24	SHEET NO	1 OF 7
504-279-3508	JOB NO	---		



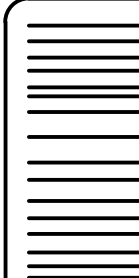
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"





SQUARE FOOTAGE	
1ST. LIVING	2065
2ND. LIVING	1200
PORCH	131
PATIO	197
TOTAL	3593

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 <b>LARRY TRUMBATUR</b> 8307 LAFITTE CT. CHALMETTE, LA 70043 504-279-3508	DATE 12/10/24	SHEET NO 4 OF 7
	SCHMIDT 1823 CLAIBORNE STREET ST. TAMMANY PARISH, LA.	

**GENERAL NOTES:**

ATTIC VENTILATION WILL BE CONTINUOUS RIDGE VENTS AND PERFORATED SOFFITS. OR EQUAL

TERMITE SHIELDS WILL BE 26 GA GALVANIZED AT EACH PIER UNDER SILLS

#2 PINE LUMBER WILL BE USED FOR FRAMING LUMBER

CONTRACTOR TO REMOVE DEBRIS FROM PROPERTY

ENCLOSED AREAS BELOW FLOOD GRADE SHALL HAVE A MINIMUM OF 1 SQ. IN. PER 1 SQ. FT. OF WATER FLOW VENTING.

MINIMUM INSULATION REQUIRED

FLOORS- R-19

WALL- R-13

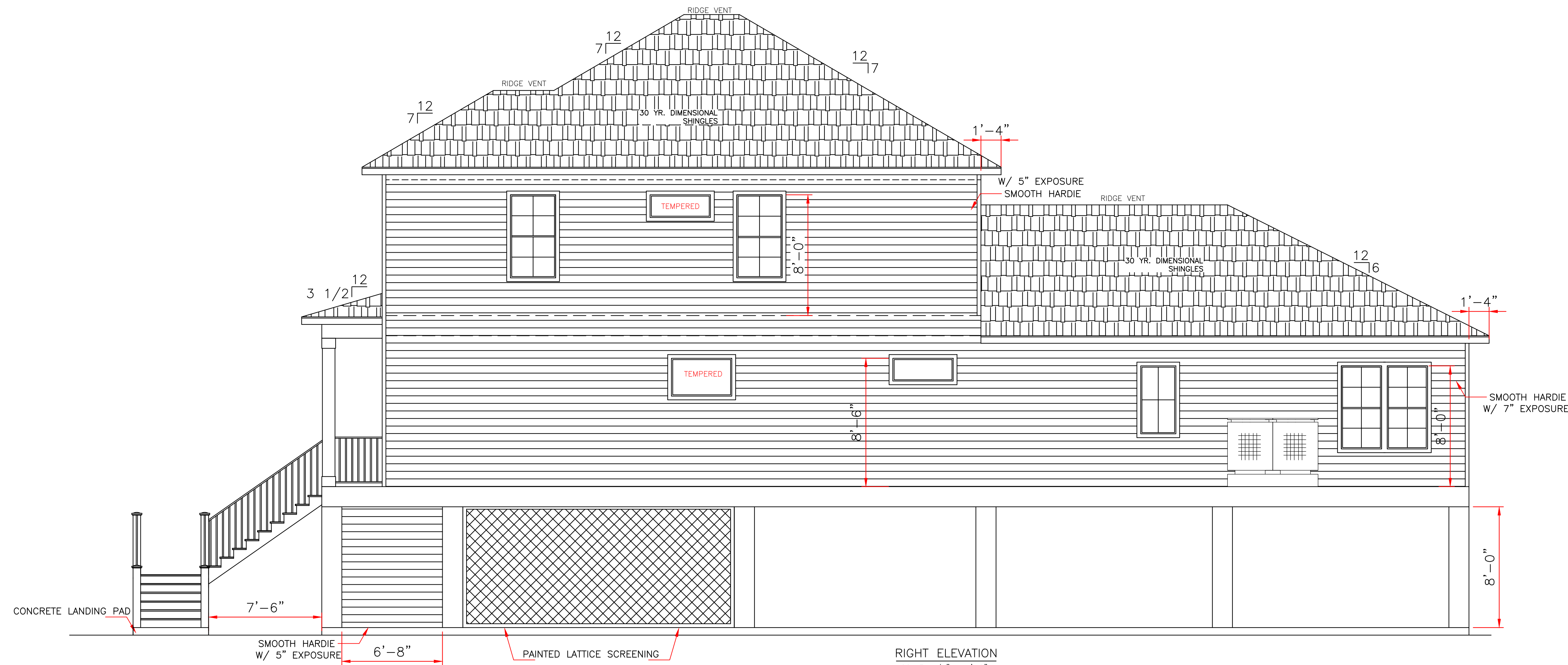
CEILING- R-47

BUILDING MATERIAL USED BELOW DESIGN FLOOD ELEVATION MUST BE WATER RESISTANT

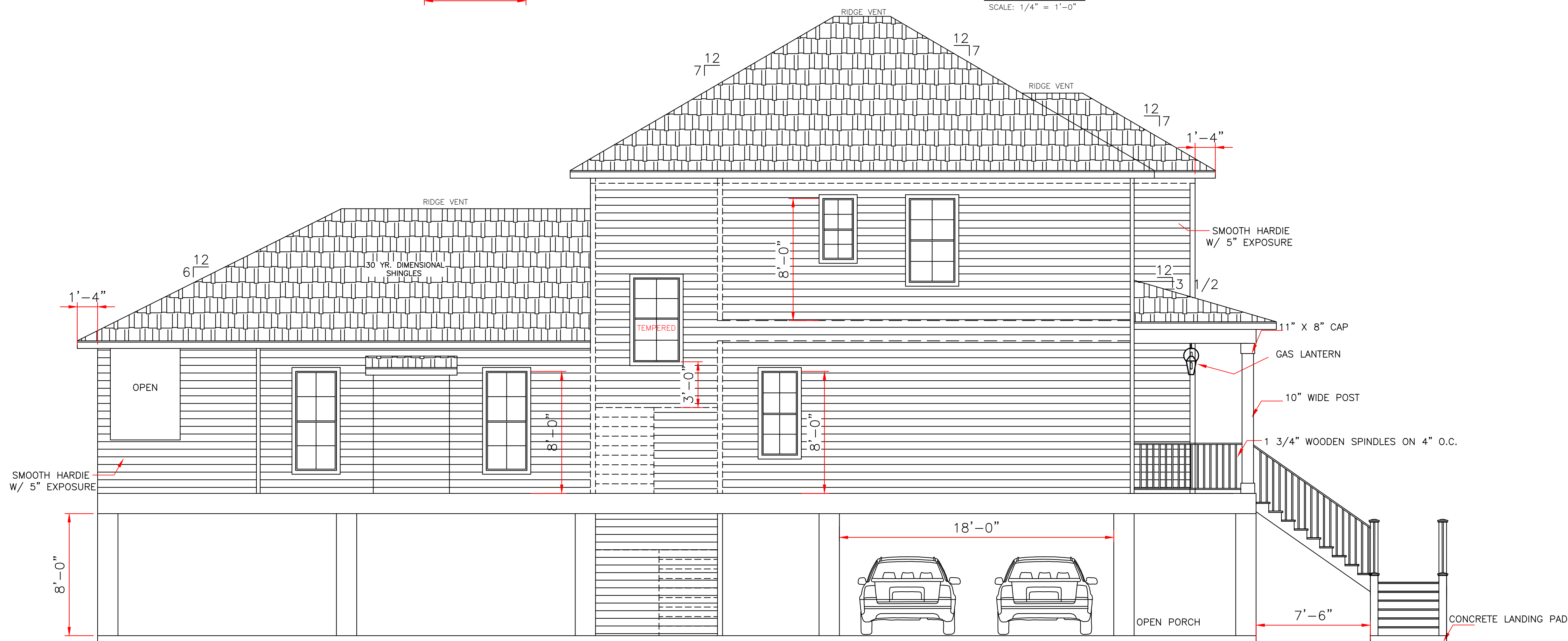
WINDOWS INSTALLED IN BATHTUB ENCLOSURES LESS THAN 60" F.F.F. REQUIRE SAFETY GLAZING AND WINDOWS WITHIN 2' OF DOORS AND WITHIN 5' OF STAIRS

FLOOD VENTS WHERE APPLICABLE SHALL BE 1'-0" OR LESS ABOVE GRADE.

WINDOWS WHERE BOTTOM EDGE IS LESS THAN 18" REQUIRES SAFETY

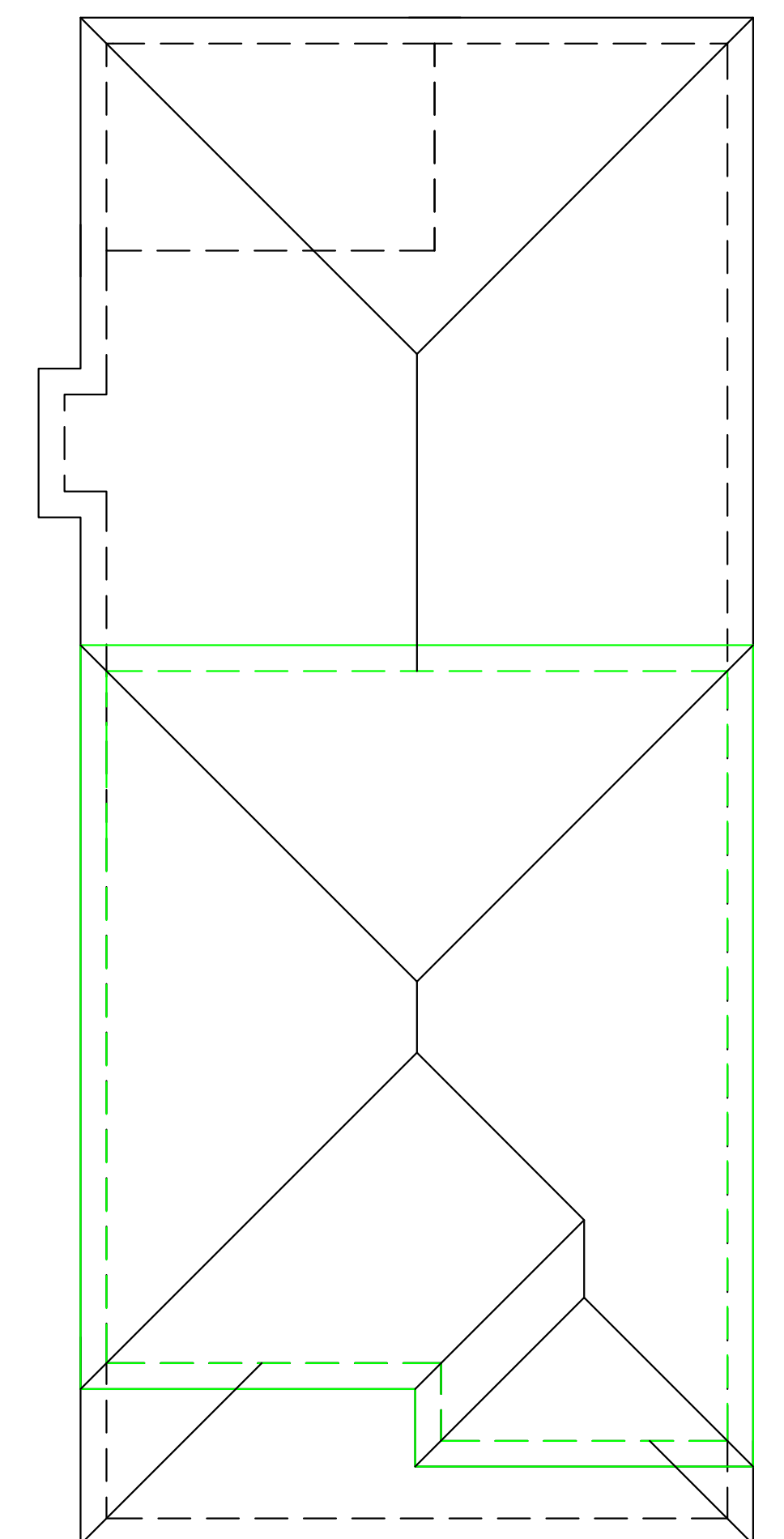


**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

ALL MATERIALS BELOW BASE FLOOD MUST BE WATER RESISTANT



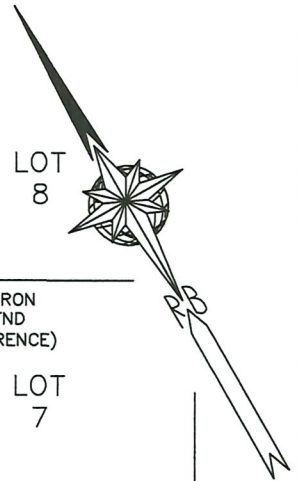
**ROOF PLAN**  
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	8307 LAFITTE CT. CHALMETTE, LA 70043	DATE	12/10/24	SHEET NO
504-279-3508	JOB NO			5 OF 7

# JEFFERSON STREET (SIDE)



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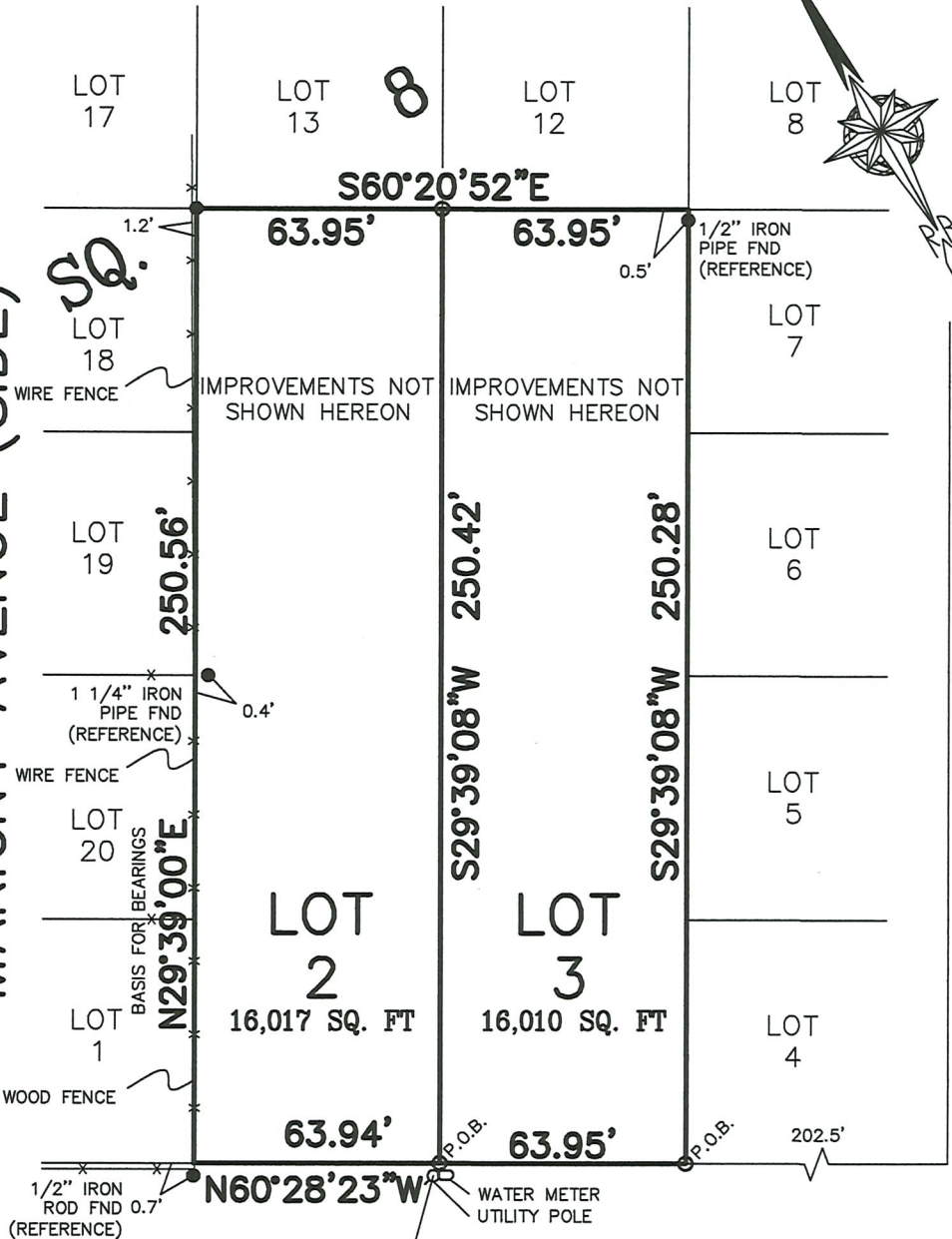
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 Survey No.: 22371  
 Dated: 6-21-2022

**REFERENCE 2:**  
 Survey By Ned R. Wilson, PLS  
 Job No.: 12112  
 Dated: 9-14-2006

**Note:** I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS located in a special flood hazard area, it is located in Flood Zone AE.

FIRM Panel# 2202020427D Rev. 5-16-2012



## CLAIBORNE STREET

APPROVED:

*L. C. [Signature]*  
 MAYOR OF THE CITY OF MANDEVILLE  
*[Signature]*  
 CHAIRMAN OF PLANNING COMMISSION  
*[Signature]*  
 CITY ENGINEER OR PUBLIC WORKS DIRECTOR  
*[Signature]*  
 PLANNING DIRECTOR  
*Monique T. Bringol*  
 CLERK OF COURT  
 08-13-2024 6330A  
 DATE FILED FILE NO.

### RESUBDIVISION OF LOTS 2 & 3 \* SQUARE 8 \* TOWN OF MANDEVILLE CITY OF MANDEVILLE \* ST. TAMMANY PARISH, LOUISIANA INTO LOT 2 & LOT 3

Monique T Bringol, Deputy Clerk

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, SUBSURFACE UTILITIES, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

*[Signature]*  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 Randall W. Brown, P.L.S.  
 Professional Land Surveyor  
 LA Registration No. 04586

**Randall W. Brown & Associates, Inc.**  
 Professional Land Surveyors  
 228 W. Causeway Approach, Mandeville, LA 70448  
 (985) 624-5368 FAX (985) 624-5309  
 info@brownsurveys.com

Date: JULY 19, 2024  
 Survey No. 24353  
 Project No. (CR5) A21387.TXT  
 Scale: 1" = 50'±  
 Drawn By: J.E.D.  
 Revised:



**CASE SUMMARY SHEET**

**CASE NUMBER: V24-11-34**

**DATE RECEIVED: November 21, 2024**

**DATE OF MEETING: December 10, 2024 and January 14, 2025**

**Address: 3481 E Causeway Appr.**

**Subdivision: North Corporate Village, Lot P2A**

**Zoning District: Planned Combined Use District**

**Property Owner: Rouse Holdings, LLC**

**REQUEST: V24-11-34 – Bonvenu Bank, represented by Kalan Mason, requests a variance to CLURO Section 10.8.2.6. Land Uses located in B-1, B-2, B-4, O/R, PM-1, PM-2, M-1, and M-2 Districts, North Corporate Village, Lot P2A, PCUD Planned Combined Use District, 3481 E Causeway Approach**

**CASE SUMMARY: The applicant is requesting an additional 21.57 sqft sign on the north façade of the building & to located the Northlake Parkway street side sign to the interior entrance of the building.**

The property at 3481 E Causeway Approach is located within The Shoppes shopping center along E Causeway Approach. The applicant is moving into the former Chase Bank building on the west side of the shopping center.

The applicant is requesting an additional wall sign on the north façade of the building, for a total of three signs on the building. Regulations allow for one wall sign per street façade with a maximum sign area of 1 sqft per linear foot of building façade. There will also be signage on the front of the building and on the E Causeway façade, allowed by right. The applicant is also allowed a sign by right on the Northlake Parkway Side, however the applicant is requesting to place a sign on the east facing façade where the customer entrance is located.

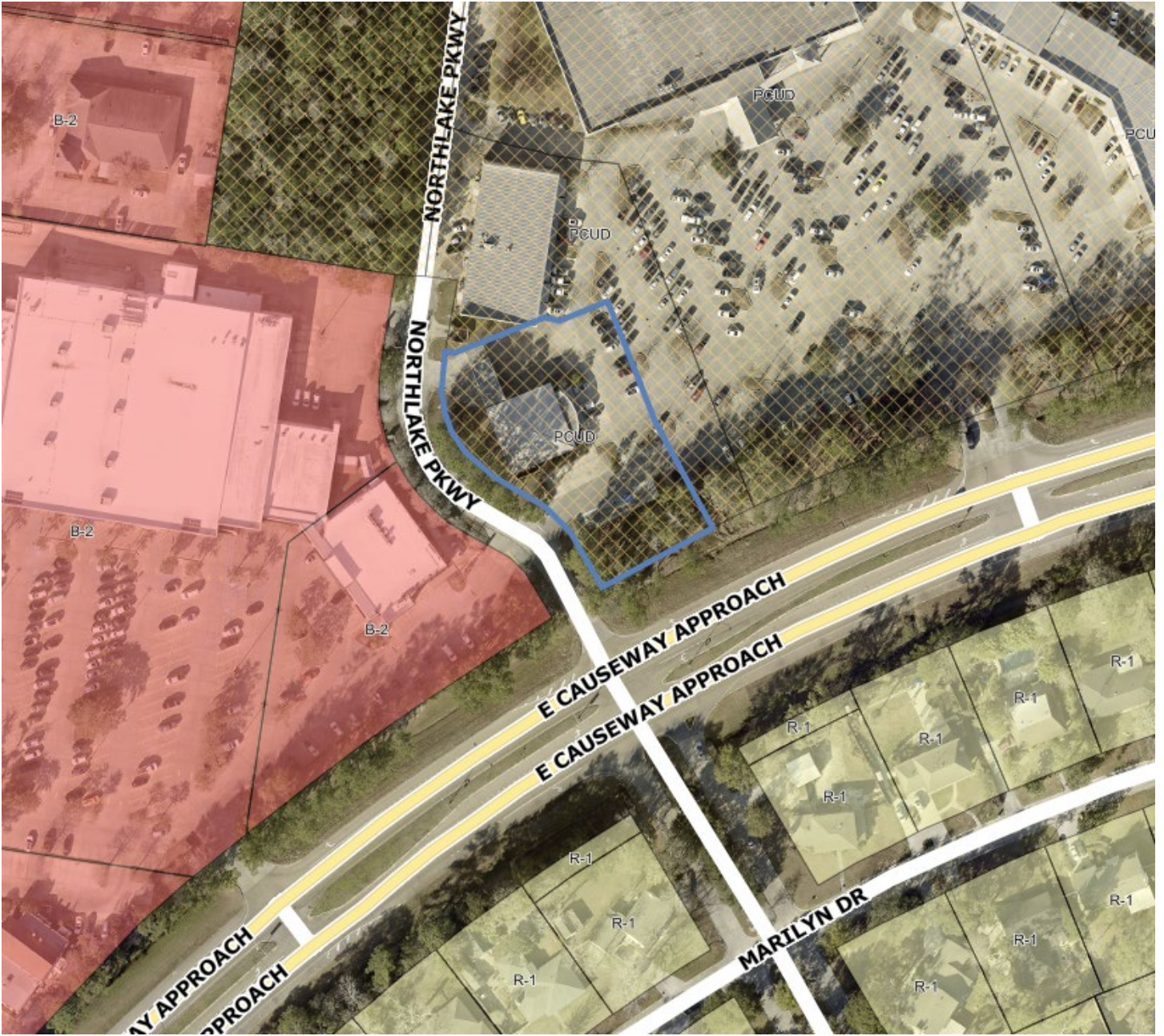
The proposed additional signage measures 21.57 sqft and the maximum allowed square footage is 68 sqft. The applicant stated they are requesting signage in the same locations as the previous Chase Bank tenant.

**CLURO SECTIONS:**

**10.8.2.6. Land Uses located in B-1, B-2, B-4, O/R, PM-1, PM-2, M-1, and M-2 Districts:**

Permitted Signs Allowed by District and Use: Land Uses located in B-1, B-2, B-4, O/R, PM-1, PM-2, M-1, and M-2 Districts.		
Land Use	Attached (wall or blade) Signs, Canopy (or awning) Signs, and Hanging Signs	Monument Signs or Free-Standing Signs with Wooden Posts
All land uses not occupying complex sites	<p>One (1) wall, canopy, hanging, or blade sign is permitted per street façade, subject to all the following:</p> <ul style="list-style-type: none"> <li>• Maximum area for a wall or blade sign is one (1) square foot per linear foot of building façade.</li> <li>• If a building façade has a linear footage of thirty-five (35) feet or less, the wall or blade sign may have a maximum area of 35 feet.</li> <li>• The blade sign must have a minimum clearance height of eight (8) feet above the ground.</li> <li>• If a building façade has a linear footage exceeding one-hundred-twenty (120) feet, the maximum area of the wall or blade sign is one-hundred-twenty (120) square feet.</li> <li>• Maximum sign area for a canopy sign is twelve (12) square feet.</li> <li>• Maximum sign area for a hanging sign is six (6) square feet. The hanging sign must have a minimum clearance height of eight (8) feet above the ground.</li> </ul>	<p>One (1) monument or free-standing sign is allowed per lot, subject to all the following:</p> <ul style="list-style-type: none"> <li>• The maximum sign area allowed is one hundred (100) square feet.</li> <li>• The maximum height is seven (7) feet from grade with a maximum height of two (2) feet for the base of the sign.</li> <li>• The Zoning Commission may approve an exception allowing a height increase if natural grade is four (4) or more feet below the crown of the abutting street.</li> <li>• The minimum setback is fifteen (15) feet from the closest abutting right-of-way and 100 feet from the nearest residential property line.</li> <li>• Sign may be externally or internally illuminated but may not cause any uplight or glare</li> <li>• If a free-standing sign is used, two-posts measuring four inches by four inches or larger must be used. Posts must be composed of wood and must be incorporated as a visual design element of the sign.</li> </ul>

- Sign may be externally or internally illuminated but may not cause any uplight or glare.





FRONT VIEW

SIDE VIEW

PROPOSED

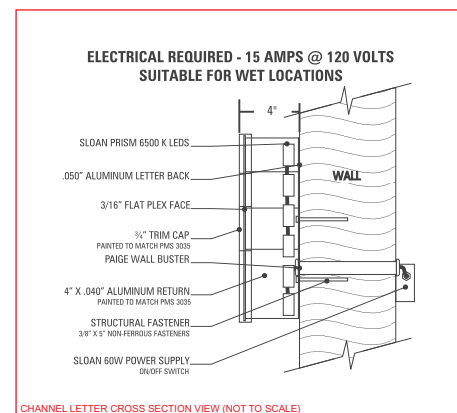
EXISTING



PMS 3035

**SIGN DESCRIPTION:**

MANUFACTURE/ INSTALL: (QTY. 1) INTERNALLY ILLUMINATED CHANNEL LOGO & LETTERS. LOGO & LETTERS TO CONSIST OF ALUMINUM RETURNS PAINTED, DUAL FILM ON LOGO, TRIM-CAP PAINTED AND WHITE LEDS. LOGO AND LETTERS TO BE INDIVIDUALLY MOUNTED TO EXTERIOR WALL.



CUSTOMER: BONVENU BANK-THE SHOPPES  
ADDRESS: 3481-A EAST CAUSEWAY APPROACH  
FILE: 1585-3RP\_4710-BONVENU\_BANK\_(MANDEVILLE\_LA)  
W.O. #: 31172.03 APPROVAL: \_\_\_\_\_

SIGN TYPE: SIGN PACKAGE  
CITY/STATE: MANDEVILLE, LA  
SALES REP: POLLY TALLEY  
ARTIST: REGGI PECH

DATE: 09/11/24  
REV: 10/07/24  
10/11/24  
RELEASE: 11/08/24

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This artwork is provided as an example of concept and color. There are no exact match between printed CMYK inks and commercial grade paints. Please contact your representative and choose a PANTON® color for paint. Mitchell Signs Company does not provide primary electrical to the sign location or site. All signs will be wired for 120v electrical services unless otherwise noted.

**MITCHELL SIGNS**  
3200 HWY 45 NORTH, MERIDIAN, MS 39301  
WWW.MITCHELLSIGNS.COM  
PHONE: 601-482-7471 • 1-800-467-7471 • FAX: 601-482-7474

**CASE SUMMARY SHEET**

**CASE NUMBER: V25-01-01**

**DATE RECEIVED: December 9, 2024**

**DATE OF MEETING: January 14, 2025 and January 28, 2025**

**Address: 101 Juniper Ct**

**Subdivision: The Sanctuary, Lot 441**

**Zoning District: R-1 Single Family Residential District**

**Property Owner: Crosby Development**

**REQUEST: V25-01-01 – John Crosby requests a variance to CLURO Section 9.2.5.14. Tree and Shrub Pruning or Removal Permit Required, The Sanctuary, Lot 441, R-1 Single Family Residential District, 101 Juniper**

**CASE SUMMARY:**

The applicant owns the property at 101 Juniper Ct, located on the corner of Juniper Ct. and Purple Martin Ln. The property is irregular in shape and measures 99' along Juniper Ct., 169' along Purple Martin Ln, 179' along the rear property line, and 150' along the interior property line and contains approximately 20,639 sqft per survey prepared by Lowe Engineers and dated 05.09.2023. The property is currently unimproved.

The applicant is requesting to remove 5 pine trees along the property line that borders the neighboring residence at 105 Juniper Ct with the reasoning that they are located within "striking distance of a home". A picture was submitted by the applicant showing a tree on the property that had previously fallen during a storm and landed on a car parked in the neighboring driveway.

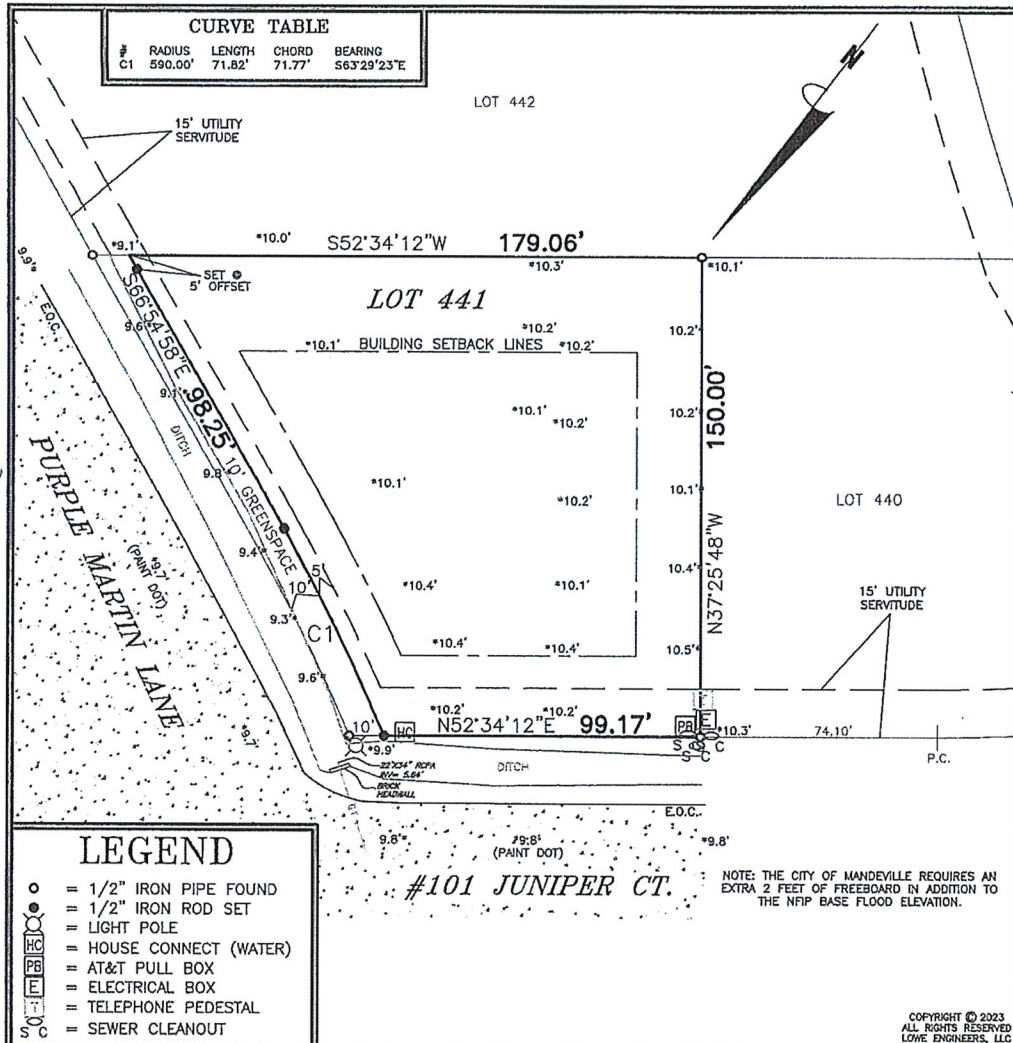
The property is currently undeveloped. As such, a tree removal permit will be issued for dead or diseased trees, or as part of a new construction permit. As part of the requirements for a new construction permit a minimum of 50% of all existing trees located in the setbacks must be preserved.

**CLURO SECTIONS:**

**9.2.5.14. Tree and Shrub Pruning or Removal Permit Required**

1. General. A tree and shrub pruning or removal permit shall be obtained from the building inspector when cutting, clearing, or removing any required Class A or Class B tree, or for pruning live oak trees as provided herein. A tree and shrub removal permit shall only be granted on
  - a. previously developed sites or for surveying, testing or removal of diseased or dead trees on undeveloped sites as provided in Article 7
  - b. in conjunction with the issuance of a new building permit
  - c. or if the tree or shrub proposed to be removed would be required if a new building permit were being applied for on the site.





CURVE TABLE			
#	RADIUS	LENGTH	BEARING
C1	590.00'	71.82'	S63°29'23"E

LEGEND	
○	= 1/2" IRON PIPE FOUND
●	= 1/2" IRON ROD SET
○	= LIGHT POLE
HC	= HOUSE CONNECT (WATER)
PB	= AT&T PULL BOX
E	= ELECTRICAL BOX
TP	= TELEPHONE PEDESTAL
S C	= SEWER CLEANOUT

NOTE: THE CITY OF MANDEVILLE REQUIRES AN EXTRA 2 FEET OF FREEBOARD IN ADDITION TO THE NFIP BASE FLOOD ELEVATION.

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LOWE ENGINEERS, LLC

**BUILDING SETBACKS:**  
FRONT: 25'  
SIDE: 20'  
SIDE STREET: 15'  
REAR: 30'

**REFERENCE SURVEY:**  
The recorded subdivision map.

**BASIS FOR BEARINGS:**  
THE REFERENCE SURVEY.

NOTE: Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "X" with a Base Flood Elevation of N/A in accordance with Community Panel No. 220202 0313 D. Revised: MAY 16, 2012.

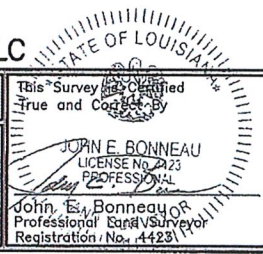
THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS c SURVEY.

SURVEY MAP OF  
**LOT 441, THE SANCTUARY, PHASE 4C**  
 in the  
 City of Mandeville  
 St. Tammany Parish, Louisiana  
 for  
**H. CROSBY CONSTRUCTION, LLC**

Survey No. 23-140212      Drawn by: MAB      Scale: 1" = 40'  
 Date: MAY 09, 2023      Revised:



Professional Land Surveyors  
 Planners and Consultants  
 1011 NORTH CAUSEWAY BLVD., SUITE 34  
 MANDEVILLE, LA 70471  
 OFFICE NO. (985)845-1012  
 FAX NO. (985)845-1778  
 www.loweengineers.com  
 e-mail: MandevilleTeam@loweengineers.com



24-9811

CITY OF MANDEVILLE TREE REMOVAL APPLICATION



All applications can be submitted digitally to [permits@cityofmandeville.com](mailto:permits@cityofmandeville.com)

APPLICANT'S INFORMATION

Name: Harry Crosby Jr.

E-mail: [REDACTED]

Phone: [REDACTED]

OWNER INFORMATION

Owner's name: Crosby Development Company

Phone: [REDACTED]

Address: 1 Sanctuary Blvd Mandeville, LA 70471

E-mail: [REDACTED]

PROPERTY INFORMATION

Current use of property:  Mixed use  Commercial  Residential  Multi-family  Undeveloped lot

Address of Tree (if different from above): 101 Juniper Ct Mandeville, LA 70471

Number of Trees to be removed: 5

Number of Trees to be pruned: \_\_\_\_\_

Are any of them Live Oaks?  Yes  No

If Yes has an arborist evaluated the trees?  Yes  No If yes, please provide report.

CONTRACTOR INFORMATION

Contractor: Tammany Tree Service

Arborist License #: LA AR 1631

Address: 728 Hwy 1085 Madisonville, LA 70447

Phone: 318-623-5710

Registered with City?  Yes  No Estimated cost: [REDACTED] Proposed Start Date: 11/08/24

I agree to comply with City of Mandeville's Tree Ordinance as outlined in Article 9 of the CLURO.

Signature of Property Owner [Signature]

Signature of Applicant (if different) [Signature]

Checklist:

- Completed application with signatures
- Tree survey/site plan
- Trees to be removed are clearly marked with ribbon or string (Do not use paint)
- At least one color photo of each tree being applied for. Attach additional photos as needed.
- Replanting plan/statement if replacement trees are needed
- A letter of approved action from homeowner's association (if applicable)
- Pay fees

The property owner/owner's representative certifies that the information provided and all attached, drawings, photos and/or tree plans are true to the best of their knowledge and any false/ incorrect information can result in the revocation and/or denial of the permit.

Trees to be removed: (use additional paper if more than 6 trees)

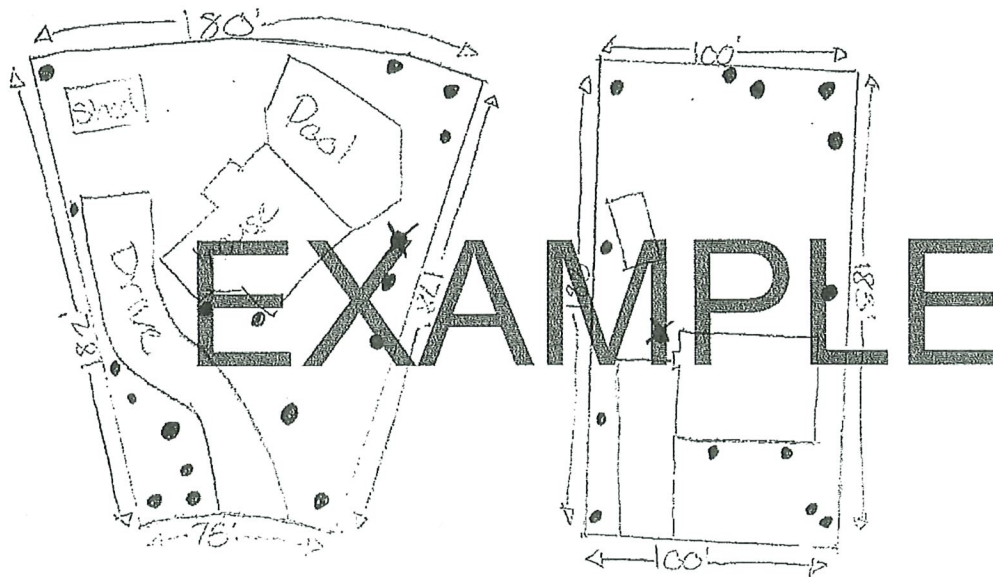
Tree #1 Species	Pine	Dbh	28	Reason	Striking distance of a home
Tree #2 Species	Pine	Dbh	32	Reason	Striking distance of a home
Tree #3 Species	Pine	Dbh	31	Reason	Striking distance of a home
Tree #4 Species	Pine	Dbh	34	Reason	Striking distance of a home
Tree #5 Species	Pine	Dbh	33	Reason	Striking distance of a home
Tree #6 Species		Dbh		Reason	

### Tree Survey

– Sketch a dimensioned site plan or use a survey to show:

1. Location of all existing trees and the tree(s) to be removed; and
2. Existing and/or proposed footprint of the structure(s), paving, and landscape areas.

EXAMPLE:



Please use a separate sheet of paper for tree survey











**CASE SUMMARY SHEET**

**CASE NUMBER: A25-01-01**

**DATE RECEIVED: November 22, 2024**

**DATE OF MEETING: January 14, 2025**

**Address: 633 Lotus Dr. N**

**Subdivision: Beau Rivage Village, Lot 19**

**Zoning District: B-2 Highway Business District**

**Property Owner: Robert Berning**

**REQUEST: A25-01-01 – Robert Berning requests an appeal to the Zoning Commission regarding the decision of the Planning Director to deny Permit 24-9851 and the interpretation of a roof sign, Beau Rivage Village, Lot 19, B-2 Highway Business District, 633 Lotus Dr. N**

**CASE SUMMARY: An appeal of the decision of the Planning Director to deny a permit, and the interpretation of a roof sign**

The applicant owns the property at 633 Lotus Drive North, located on the south side of Lotus Drive N, and north of Village Lane N. The property is currently improved with a commercial structure.

The applicant submitted a permit application for a commercial roof renovation, which was issued on October 3<sup>rd</sup>, 2024. This was to renovate the front roof to make it resemble a more commercial building.

On October 8<sup>th</sup> a permit was submitted to install signage on the new structure. This permit was denied later the same day with the reasoning being that “Sign meets the definition of a roof sign as written in CLURO Section 10.3. Per CLURO Section 10.4.2. roof signs are a prohibited sign type within the City of Mandeville”. The definition of a roof sign is “any sign erected or painted upon, against or directly above a roof or on top of or above the parapet of a building. Any sign that extends above the lowest point of the highest roof plane is considered a roof sign”.

The applicant disagreed with the interpretation and stated that the renovation that took place will raise the roof plane of the front elevation so that the sign will not extend above the lowest point of the highest roof plane. The applicant states that the proposed sign type meets the definition of a wall sign and not a roof sign. A wall sign is defined as “an attached sign which is painted on or which projects less than twelve (12) inches from the wall of a building, and is painted on, attached to, or erected against any exterior wall or window of a building or structure with the exposed face of the sign being in a plane parallel to the plane of said wall or window and not extending above the building.”

**CLURO SECTIONS:**

**10.4.2. Prohibited Sign Types**

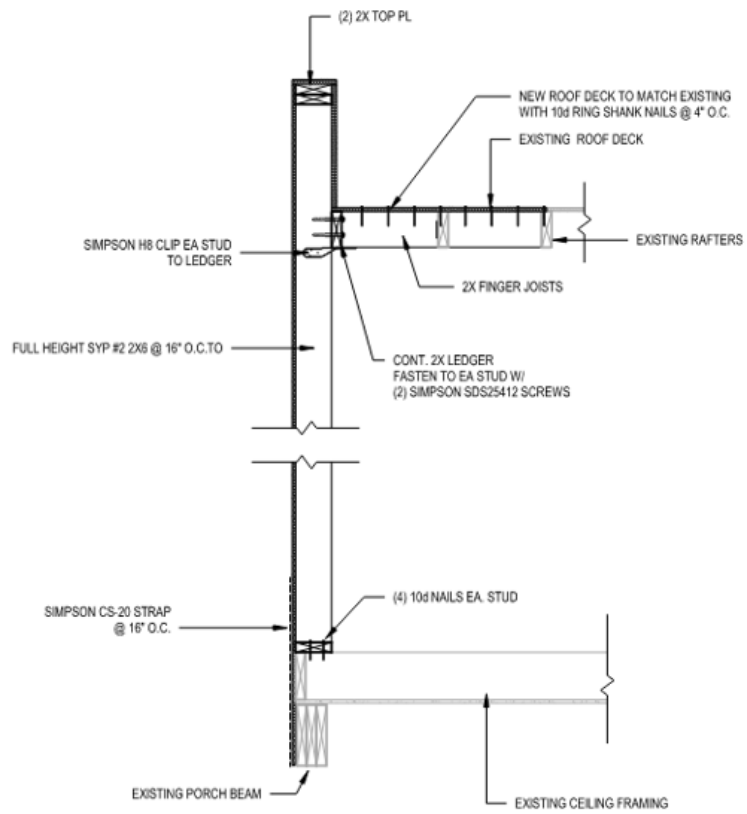
Prohibited signs are subject to removal (except legal nonconforming signs as defined by this Article) by the City at the sign owner's or user's expense. The following types of signs are prohibited within the City of Mandeville:

14. Roof signs or signs above the wall or parapet of a building except where specifically allowed in the Historic Preservation Overlay District.

**Roof Sign.** A roof sign is any sign erected or painted upon, against or directly above a roof or on top of or above the parapet of a building. Any sign that extends above the lowest point of the highest roof plane is considered a roof sign.

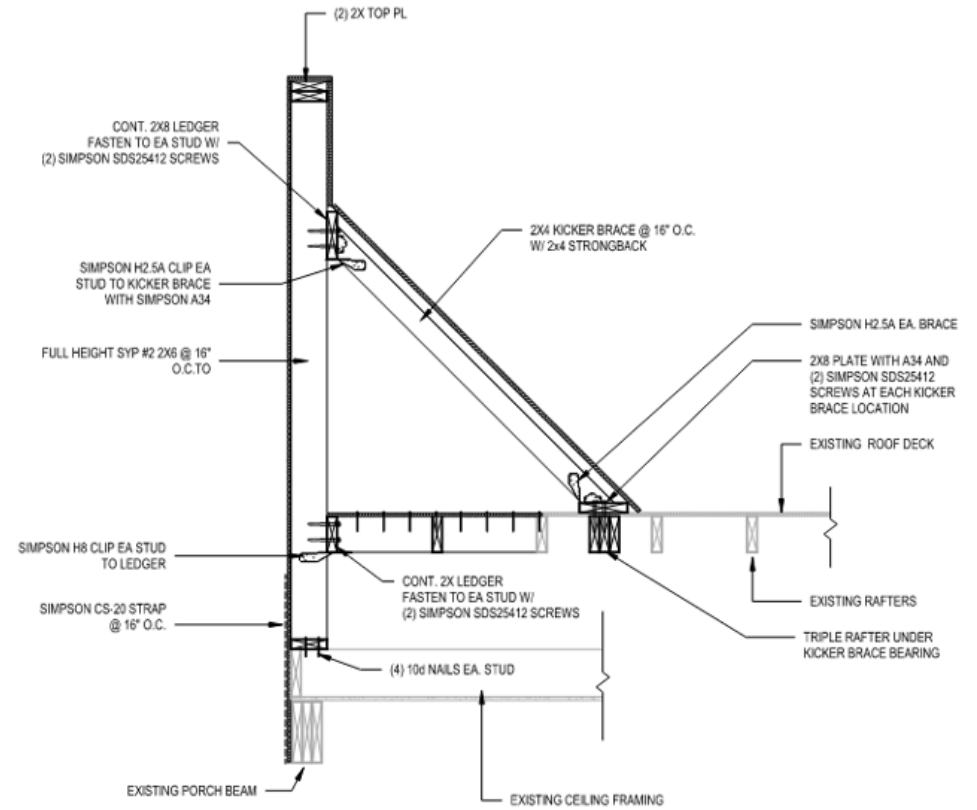
**Wall Sign.** A wall sign is an attached sign which is painted on or which projects less than twelve (12) inches from the wall of a building, and is painted on, attached to, or erected against any exterior wall or window of a building or structure with the exposed face of the sign being in a plane parallel to the plane of said wall or window and not extending above the building.





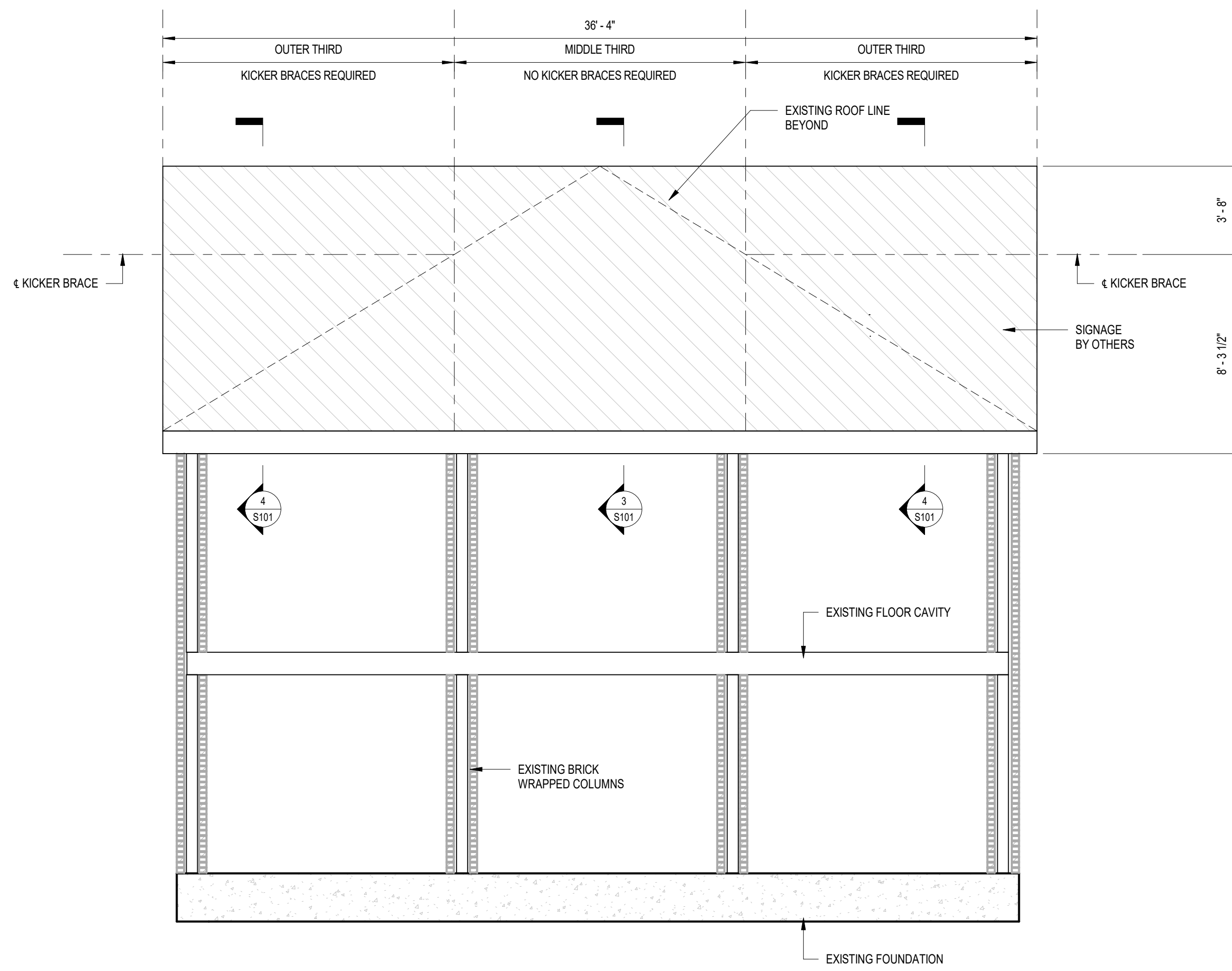
**3** TYPICAL PARAPET FRAMING DETAIL @ MIDDLE THIRD

3/4" = 1'-0"



**4** TYPICAL PARAPET FRAMING DETAIL @ OUTER THIRD OF ROOFLINE

3/4" = 1'-0"



**1 PROPOSED FRONT ELEVATION**  
1/4" = 1'-0"

**GENERAL**

ALL DESIGN LOADS SHOWN ON THE STRUCTURAL PLANS ARE ALLOWABLE STRESS DESIGN (UNFACTORED) SERVICE LOADS.

ALL METHODS, PROCEDURES, AND SEQUENCES OF WORK ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL ENSURE ALL PRECAUTIONS ARE TAKEN TO MAINTAIN THE INTEGRITY OF THE STRUCTURE THROUGHOUT ALL STAGES OF CONSTRUCTION.

REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR ALL ITEMS OMITTED FROM THE STRUCTURAL PLANS.

IF A CONFLICT IS OBSERVED IN THE STRUCTURAL DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD FOR PROPER GUIDANCE AND CLARIFICATION PRIOR TO CONSTRUCTION.

THE STRUCTURAL INTEGRITY OF THE DESIGN DEPENDS ON THE FULL INTERACTION OF ALL ITS FRAMING MEMBERS AND CLADDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY SHORE AND BRACE ALL STAGES OF CONSTRUCTION UNTIL THE STRUCTURE IS COMPLETED.

THE GENERAL CONTRACTOR SHALL COORDINATE THE STRUCTURAL DRAWINGS WITH ALL OTHER DRAWINGS.

ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, AND QUANTITIES SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO ANY FABRICATION OR INSTALLATION.

SCALING OF THE STRUCTURAL DRAWINGS SHALL NOT BE PERMITTED. IF ANY DIMENSIONS VITAL TO CONSTRUCTION ARE NOT SHOWN ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS, CONTRACTOR SHALL SEND FORMAL REQUEST TO THE ARCHITECT OR ENGINEER OF RECORD FOR CLARIFICATION.

IN THE EVENT OF CONFLICTING OR DIFFERING REQUIREMENTS INDICATED ON THE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS THAT HAVE NOT BEEN SUBSEQUENTLY CLARIFIED OR CHANGED, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY, GREATER QUANTITY, OR MORE STRINGENT UNLESS OTHERWISE DIRECTED BY THE ENGINEER OF RECORD.

**CODES AND DESIGN SPECIFICATIONS**

BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2028

NATIONAL DESIGN SPECIFICATION FOR WOOD FRAMED CONSTRUCTION 2015

ASCE 7-16

**DESIGN LOADS**

- ROOF DESIGN LOADS
- ROOF COLLATERAL DEAD LOAD = 10 PSF
- ROOF LIVE LOAD = 20 PSF
- WIND LOAD CRITERIA
- ULTIMATE WINDSPEED = 140 MPH
- NOMINAL WINDSPEED = 108 MPH
- OCCUPANCY CATEGORY = II
- EXPOSURE = B
- INTERNAL PRESSURE COEFFICIENT = +/- 0.18

**RENOVATIONS:**

ALL DIMENSIONS AND CONDITIONS TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO SHOP DRAWING SUBMITTALS. NOTIFY THE ARCHITECT PRIOR TO SHOP DRAWING SUBMITTALS WHERE DIMENSIONS VARY SIGNIFICANTLY FROM EXISTING CONDITIONS.

SHORE AND BRACE ALL EXISTING FRAMING AS REQUIRED TO ACCOMPLISH WORK AS SHOWN ON THE DRAWINGS. DESIGN OF ALL SHORING SHALL BE PROVIDED BY THE CONTRACTOR.

ALL MATERIALS USED FOR PATCHING SHALL MATCH EXISTING MATERIALS IN APPEARANCE AND QUALITY. WORKMANSHIP SHALL BE IN CONFORMANCE WITH TODAY'S STANDARDS BUT SHALL BE NO LESS IN QUALITY THAN THE ADJACENT WORKMANSHIP.

ALL ELEMENTS SHALL BE CONSIDERED NEW FOR PRICING / BIDDING UNLESS SPECIFICALLY IDENTIFIED AS EXISTING.

**WOOD FRAMING - GENERAL:**

ALL WORK SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD PRODUCTS" LATEST EDITION, BY THE AMERICAN FOREST & PAPER ASSOCIATION, AMERICAN WOOD COUNCIL AND "PANEL DESIGN SPECIFICATIONS" LATEST EDITION, BY APA - THE ENGINEERED WOOD ASSOCIATION.

ALL SOLID SAWN WOOD SPECIES SHALL BE SOUTHERN YELLOW PINE #2 WITH A MAXIMUM MOISTURE CONTENT OF 19% UNLESS NOTED OTHERWISE.

ALL STUDS SHALL BE BRACED HORIZONTALLY AT THIRD POINTS OR FULLY SHEATED WHEN SUBJECTED TO LOAD BEARING CONDITION DURING CONSTRUCTION.

ALL WOOD MEMBERS IN DIRECT CONTACT WITH CONCRETE OR EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED.

MEMBERS MAY BE MULTIPLE OR SINGLE PLY TO ACHIEVE THE THICKNESS SPECIFIED. WHERE MULTIPLE PLY MEMBERS ARE USED, FASTEN MEMBERS PER THE MANUFACTURER REQUIREMENTS TO OBTAIN THE CAPACITY OF A SINGLE PLY MEMBER.

SPICES ARE NOT PERMITTED IN RAFTERS, BEAMS, OR POSTS EXCEPT AT SUPPORTS.

RAFTERS, JOISTS, AND BEAMS SHALL BE SUPPORTED Laterally AT THE ENDS AND AT EACH INTERIOR SUPPORT BY SOLID BLOCKING EXCEPT WHERE THE ENDS OF THE MEMBERS ARE FASTENED TO A HEADER, BAND OR RIM BOARD.

ROOF AND FLOOR SHEATHING ARE DESIGNED AS DIAPHRAGMS. SPAN DIRECTION OF SHEETS SHALL BE PERPENDICULAR TO FRAMING AND JOINTS SHALL BE STAGGERED. MAINTAIN 1/8" GAP BETWEEN ENDS AND EDGES OF PANELS. REFER TO TYPICAL FRAMING DETAILS FOR ADDITIONAL INFORMATION AND ATTACHMENT SPACING.

**WOOD FRAMING - CONNECTIONS:**

FASTEN WOOD FRAME ELEMENTS IN ACCORDANCE WITH IBC TABLE 2304.10.1 UNLESS NOTED OTHERWISE IN THE PLANS. PROVIDE IBC FASTENING IN ADDITION TO MANUFACTURED CONNECTIONS.

THE NUMBER AND SIZE OF FASTENERS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THAT SET FORTH IN THE IBC 2021 "FASTENING SCHEDULE" UNLESS NOTED AS GREATER ON DRAWINGS.

BEAM TO BEAM FLUSH CONNECTIONS SHALL BE MADE USING MANUFACTURED BEAM HANGERS PER THE STRUCTURAL DETAILS. NO STRUCTURAL BEAMS OR HEADER CONNECTIONS SHALL RELY ON TOE-NAILING FOR LOAD TRANSFER.

CONNECTORS AND FASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL, INCLUDING BUT NOT LIMITED TO ANCHOR BOLTS, POWER ACTUATED FASTENERS, NAILS, SCREWS, BOLTS AND METAL FRAMING HARDWARE. THE ZINC COATING WEIGHTS SHALL BE IN ACCORDANCE WITH ASTM A153.

CONNECTORS SHALL BE GALVANIZED AND MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED ALTERNATE. INSTALL ALL CONNECTORS PER MANUFACTURER'S RECOMMENDATIONS. USE TYPE, SIZE AND QUANTITY OF FASTENERS IN CONNECTORS SPECIFIED BY CONNECTOR MANUFACTURER. WHERE FASTENER OPTIONS ARE GIVEN BY THE MANUFACTURER, INSTALL TYPE, SIZE AND QUANTITY OF FASTENERS REQUIRED TO ACHIEVE THE MAXIMUM RATED CONNECTOR CAPACITY. ALL SPECIFIED MANUFACTURED PRODUCTS MAY BE SUBSTITUTED WITH AN EQUIVALENT PRODUCT HAVING THE SAME LOAD CAPACITY AT THE CONTRACTOR'S OPTION.

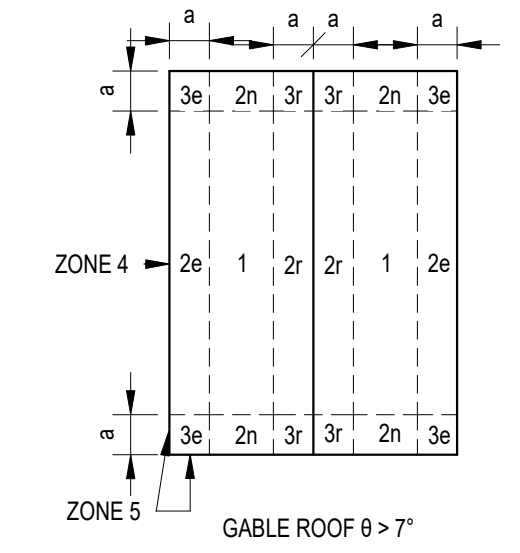
ALL STEEL CAPS, BRACKETS, HANGERS, BASE PLATES AND BOLTS EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED.

NAILS NOTED IN NOTES, SECTION, PLANS, AND DETAILS ARE COMMON WIRE NAILS, UNLESS NOTED OTHERWISE. PNEUMATIC GUN NAILING IS ALLOWED WITH UNITS OF EQUIVALENT GAGE AND LENGTH AS COMMON WIRE NAIL OF SIZE NOTED. ENSURE THAT ALL OVERDRIVEN OR CROOKED NAILS ARE REMOVED AND PROPERLY REPLACED.

ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL HAVE STANDARD CUT WASHERS, UNLESS NOTED OTHERWISE. ALL BOLT HOLES IN WOOD SHALL BE DRILLED 1/32" DIAMETER LARGER THAN NORMAL BOLT DIAMETER.

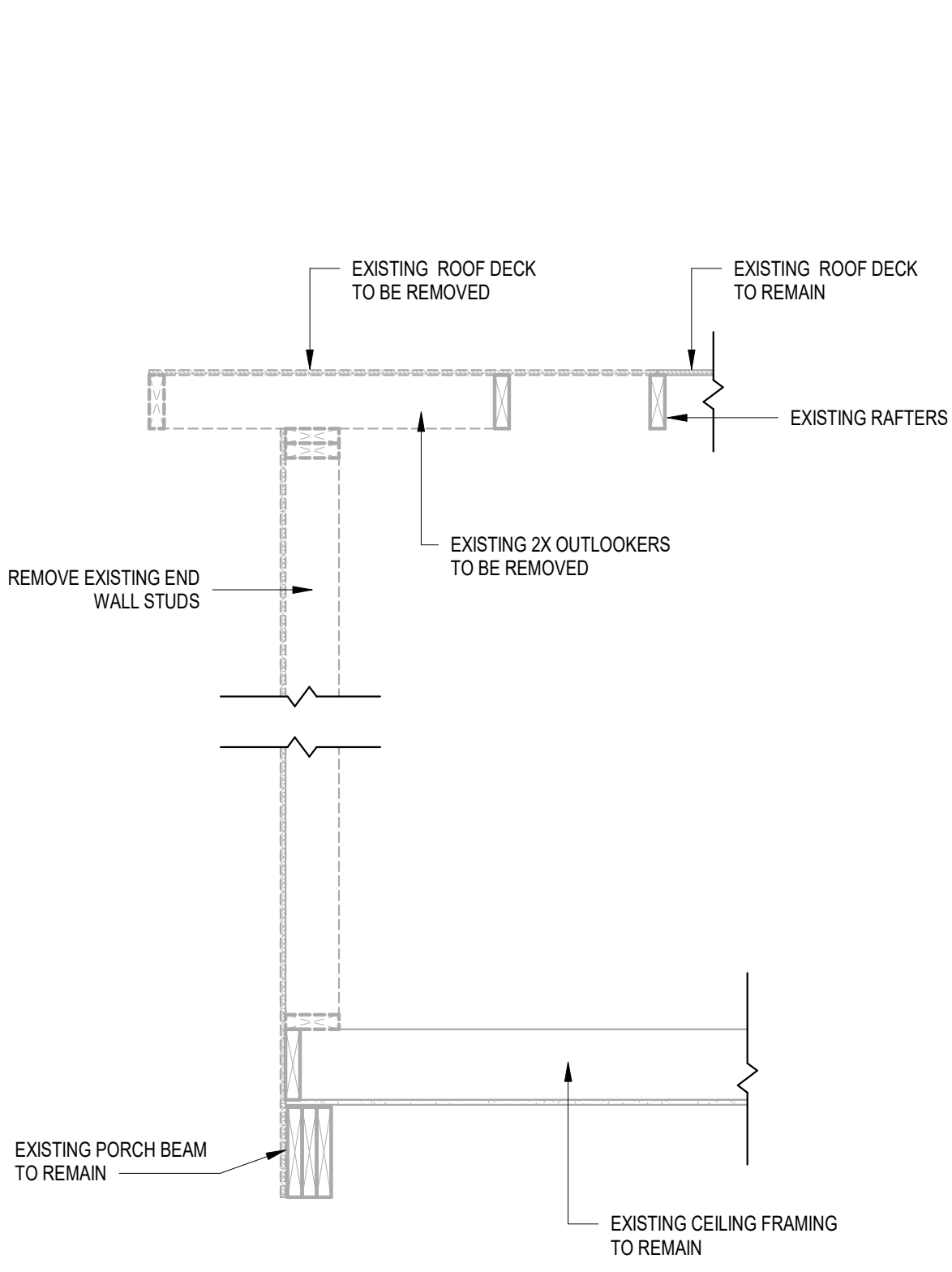
BOLTS IN WOOD SHALL NOT BE LESS THAN 7 DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER.

COMPONENTS AND CLADDING DESIGN PRESSURES				
ROOF (PSF)				
ZONE	10 SF	25 SF	50 SF	100 SF
1	32 / -59	28 / -47	24 / -38	20 / -29
2	-	-	-	-
3	-	-	-	-
1'	-	-	-	-
2e	32 / -59	28 / -47	24 / -38	20 / -29
2n	32 / -65	28 / -56	24 / -49	20 / -42
2r	32 / -59	28 / -47	24 / -38	20 / -29
3e	32 / -80	28 / -68	24 / -59	20 / -50
3r	32 / -65	28 / -56	24 / -49	20 / -42
WALLS (PSF)				
ZONE	10 SF	25 SF	50 SF	100 SF
4	35 / -38	33 / -36	31 / -35	30 / -33
5	35 / -47	33 / -43	31 / -40	30 / -37

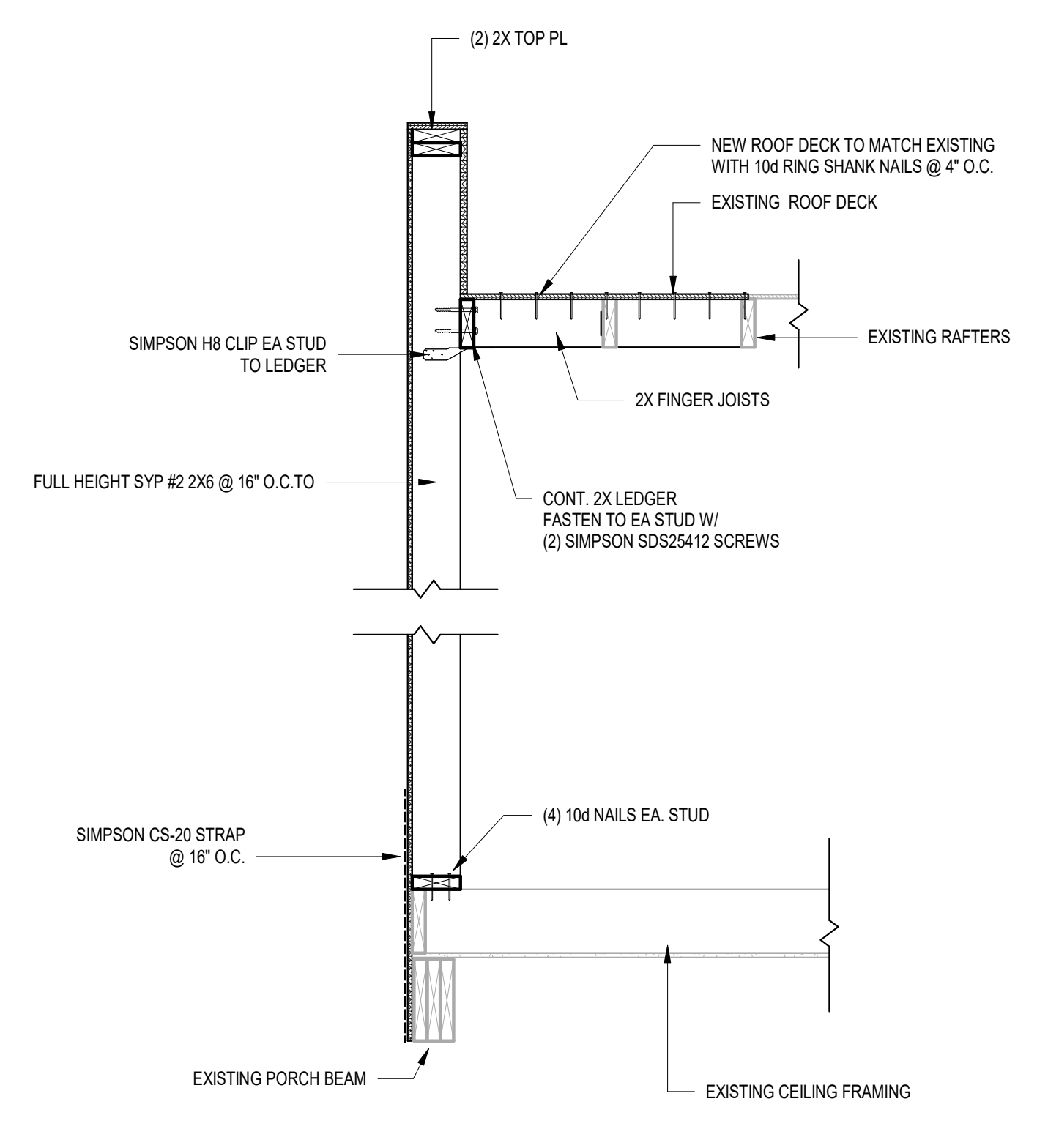


- GENERAL NOTES:**
- PRESSURES SHOWN IN THE SCHEDULE ARE ULTIMATE LEVEL (FACTORED) LOADS PER ASCE 7-16 AND IBC 2021. WHERE SERVICE LEVEL (UNFACTORED) WIND PRESSURES ARE NEEDED FOR DESIGN, THE TABLE PRESSURES SHALL BE MULTIPLIED BY A FACTOR OF 0.60.
  - TABLE PRESSURES ARE FOR THE EFFECTIVE AREA OF COMPONENTS SHOWN. FOR OTHER EFFECTIVE AREAS, LINEAR INTERPOLATE BETWEEN THE TABULATED VALUES.
  - POSITIVE PRESSURE INDICATES PRESSURE ACTING TOWARDS THE BUILDING. NEGATIVE PRESSURES ACT AWAY FROM THE BUILDING.
  - A MINIMUM DEAD LOAD EQUAL TO 5 PSF MAY BE INCLUDED FOR NET ROOF UPLIFT PRESSURES.
- h = MEAN ROOF HEIGHT  
a = 10% OF THE LEAST HORIZONTAL DIMENSION OR 0.4h, WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4% OF THE LEAST HORIZONTAL DIMENSION OR 3 FT

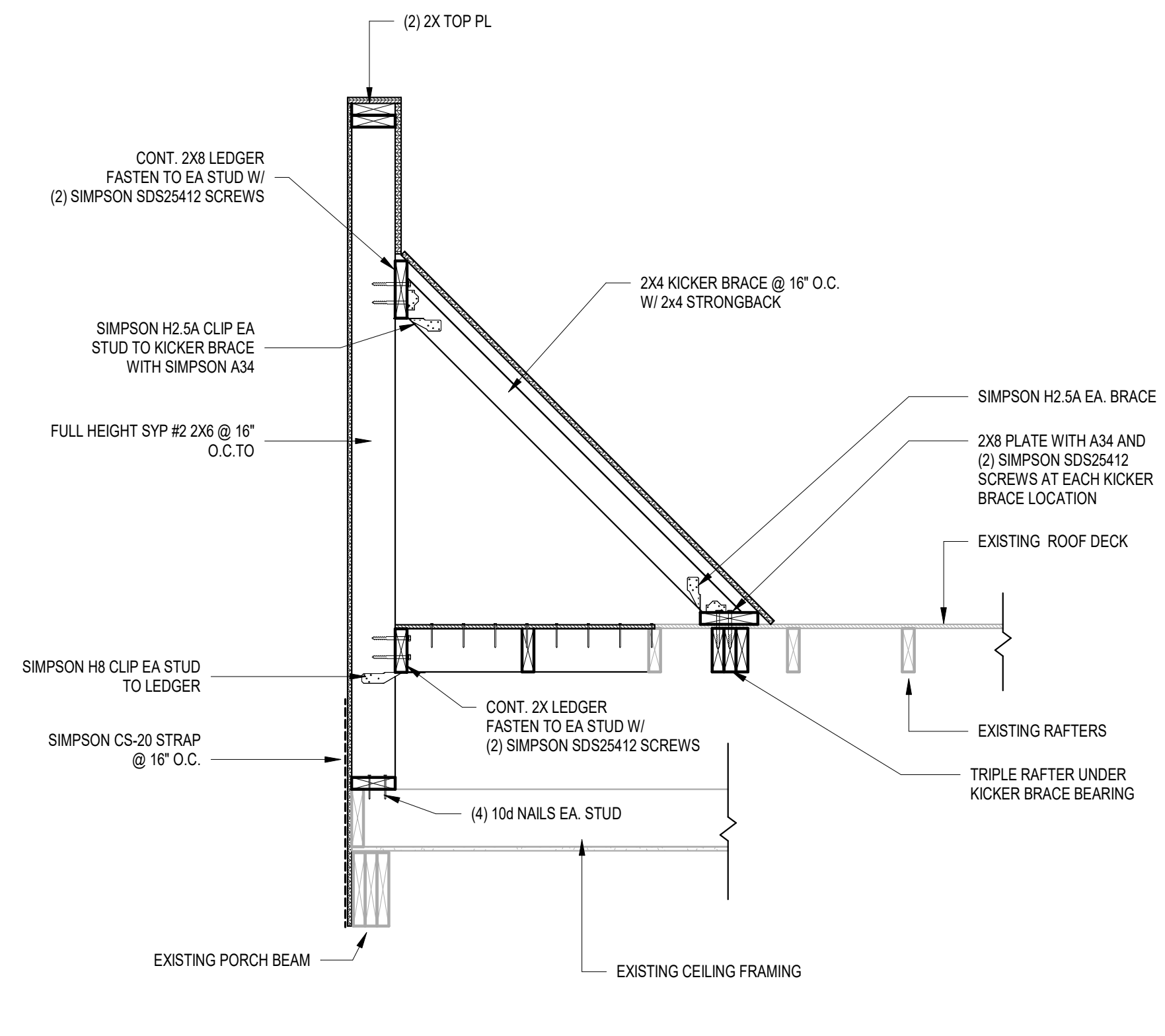
No.	Description	Date
1	IFC	7.25.2024
	Revision 1	9.17.2024



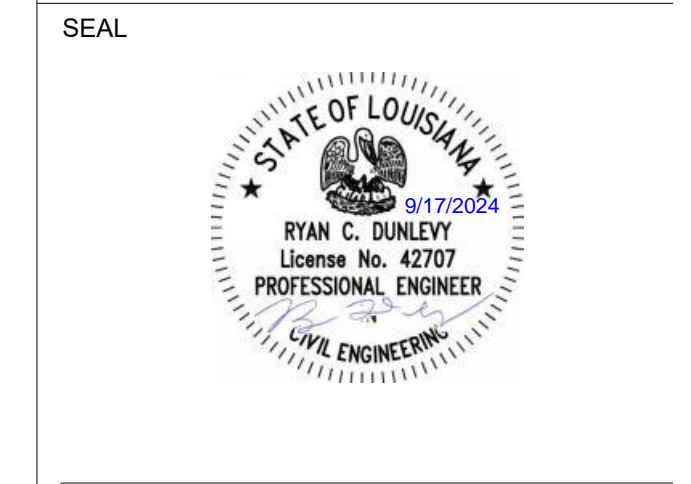
**2 EXISTING GABLE ENDWALL FRAMING CONDITIONS**  
3/4" = 1'-0"



**3 TYPICAL PARAPET FRAMING DETAIL @ MIDDLE THIRD**  
3/4" = 1'-0"



**4 TYPICAL PARAPET FRAMING DETAIL @ OUTER THIRD OF ROOFLINE**  
3/4" = 1'-0"



ROBERT BERNING

STRUCTURAL PLAN

Project number: SE-24-850  
Date: 7.25.2024  
Drawn by: TM  
Checked by: RD